OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

SUMMERVILLE GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE I Large House

ROSELLO BALBOA +

ARCHITECTURE & TOWN PLANNING

13370 SOUTHWEST 131ST STREET SUITE 104 MIAMI, FLORIDA 33186 TELEPHONE: 786.293.2313 FACSMILE: 786.293.2344 MAIL@RBLARCHITECTURE.COM

Second Story Wrap Around Porch or Covered Sleeping Balcony at street frontage required Detached Carriage House Required: Two (2) Stories Maximum

Front Stoop Required: Max. stoop height = 28", Min. =16"

Maximum Height to Roof Eave at Principle Structure = 21'-0" to 30'-0" above first finished floor

Perimeter Walls Required: Wall Height 3'-0" minimum to 5'-0" maximum

Required wall @ street shall be masonry; @ alley or between houses, a wood, chainlink, or masonry

All swimming pools shall be 1'-6" from building foundation or perimeter walls.

LOT TYPE I

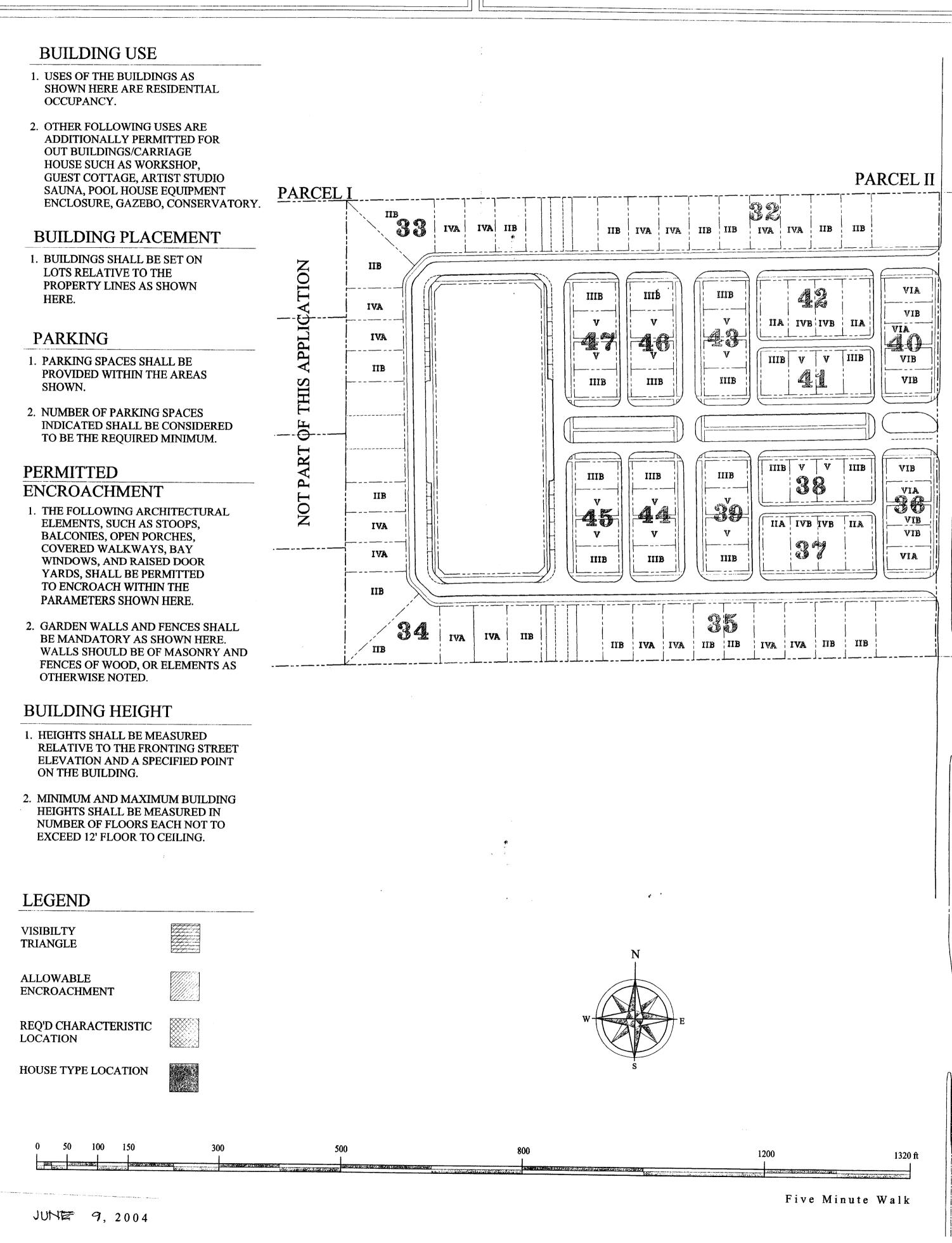
LARGE HOUSE

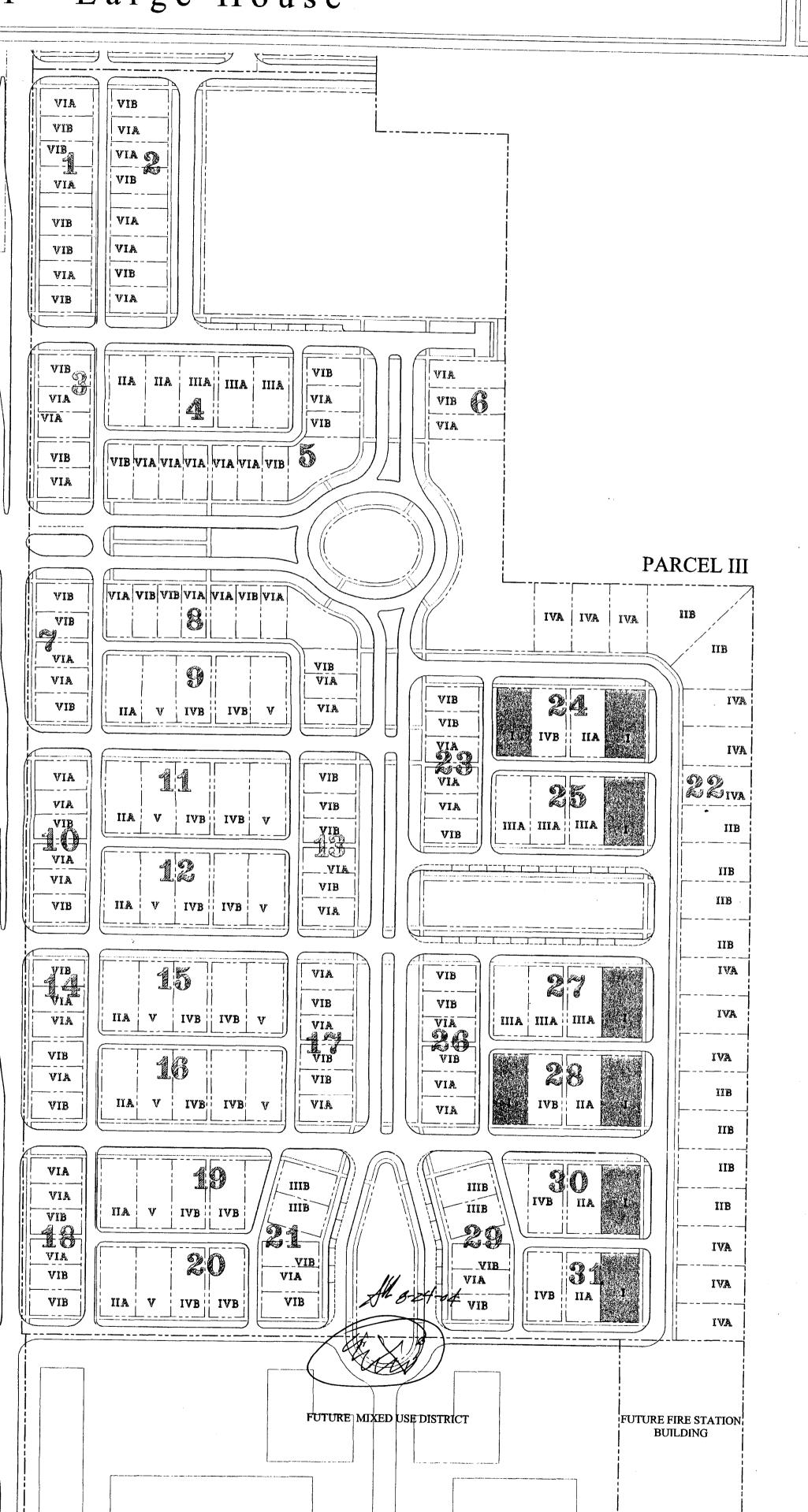
Architecture Style: West Indies

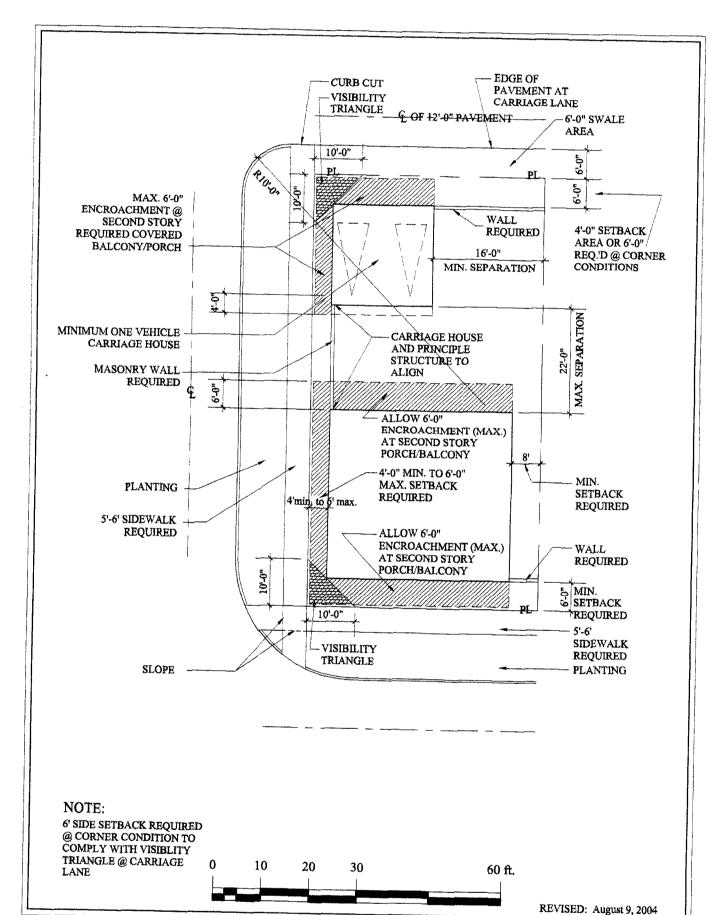
Two (2) Stories Max.

Archetype Characteristics and Development Parameters:

Carriage Lane required at rear property line







Proposed Unit Maximum Interior Gross Square Footage: 2,500 sq.ft V

Minimum Lot Square Footage: Minimum Street Frontage Required:

Proposed Number of Units:

Max. Dwelling Lot Coverage:

Minimum Unit Private Open Space Provided: 1.25 x Unit Interior Gross Square Footage — Must

CONCEPTUAL ELEVATION

SHEET 10 OF 21

1,896 sq. ft 🗸

EXACT AMQUIT

OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

PARCEL I

ATION

IVA

IVA

IIB

AVI

IVA IVA IIB

IVA IVA

IIIB

IIIB

IIIB

IIIB

IIIB

IIIB

SUMMERVILLE GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE IIA Park House

VIB

VIA

AIB

VIA

VIA

VIB

VIA

IIIA! IIIA I IIIA

BIV AIV AIV AIV AIV AIV AIV

VIA VIB VIB VIA VIA VIB VIA

V | IVB | IVB | V

A IAB IAB A

V IVB IVB V

V | IVB | IVB |

V IVB IVB

IVB IVB V

VIA

VIA

VIB

VIA

VIB

AIV

VIA II

VIB

VIB

VIA

VIA S

VIA

AIV

VIB

VIA VIA

VIA

VIB

VIB

VĪĀ

VIB

VIA

IIIB

IVB IIA

IIIA IIIA IIIA I

IIIA IIIA IIIA

28

VIB

PARCEL III

I B B IVA

IIB

IIB

IIB

IIB

IVA

IIB

IIB

IVA

VIA

VIB

VIB

WIA

VIB

VIB

VIA

VIB

ull VIA

VIB

VIA

VIB

VIA

VIA

AIB

VIB

VIA

VIB

VIA

VIB

PARCEL II

VIB

IVB IVB IIA

TIIB V V IIIB

IIIB V V IIIB

STIA IVB IVB ILA

38

IIB | IVA | IVA | IIB | IIB | IVA | IVA | IIB

IIIB

IIB IVA IVA IIB IIB IVA IVA IIB IIB

ROSELLO BALBOA + LORDI

ARCHITECTURE & TOWN PLANNING

13370 SOUTHWEST 131ST STREET SUITE 104 MIAMI, FLORIDA 33186 TELEPHONE: 786.293.2313 FACSMILE: 786.293.2344 MAIL@RBLARCHITECTURE.COM

BUILDING USE

- 1. USES OF THE BUILDINGS AS SHOWN HERE ARE RESIDENTIAL OCCUPANCY.
- 2. OTHER FOLLOWING USES ARE ADDITIONALLY PERMITTED FOR OUT BUILDINGS/CARRIAGE HOUSE SUCH AS WORKSHOP. GUEST COTTAGE, ARTIST STUDIO SAUNA, POOL HOUSE EQUIPMENT ENCLOSURE, GAZEBO, CONSERVATORY.

BUILDING PLACEMENT

1. BUILDINGS SHALL BE SET ON LOTS RELATIVE TO THE PROPERTY LINES AS SHOWN

PARKING

- 1. PARKING SPACES SHALL BE PROVIDED WITHIN THE AREAS SHOWN.
- 2. NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM.

PERMITTED ENCROACHMENT

- 1. THE FOLLOWING ARCHITECTURAL ELEMENTS, SUCH AS STOOPS, BALCONIES, OPEN PORCHES, COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE PARAMETERS SHOWN HERE.
- 2. GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED.

BUILDING HEIGHT

- 1. HEIGHTS SHALL BE MEASURED RELATIVE TO THE FRONTING STREET **ELEVATION AND A SPECIFIED POINT** ON THE BUILDING.
- 2. MINIMUM AND MAXIMUM BUILDING HEIGHTS SHALL BE MEASURED IN NUMBER OF FLOORS EACH NOT TO EXCEED 12' FLOOR TO CEILING.

LEGEND

VISIBILTY TRIANGLE

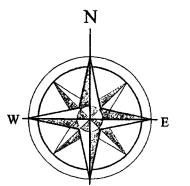


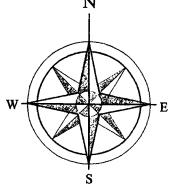
ALLOWABLE **ENCROACHMENT**



HOUSE TYPE LOCATION



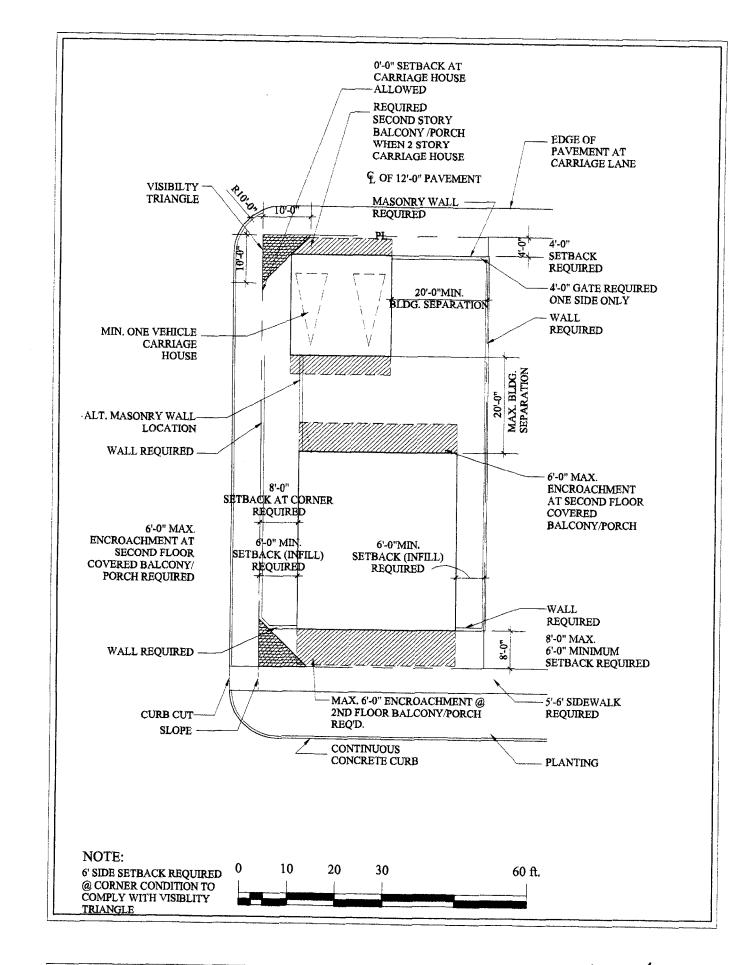


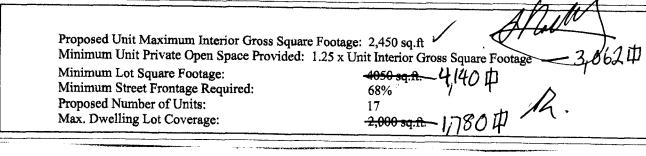


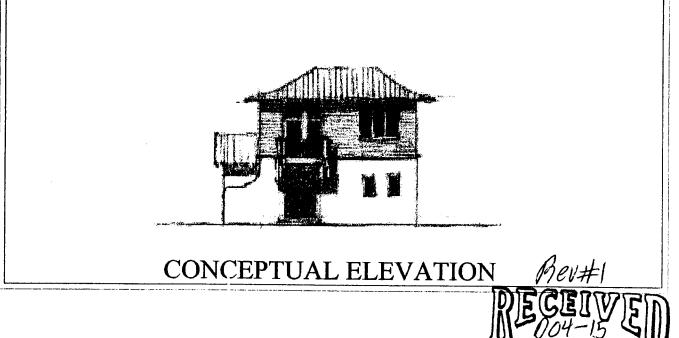
VIA 20 AIB VIA AIV VIB VIB V IVB IVB FUTURE MIXED USE DISTRICT FUTURE FIRE STATION BUILDING 1200

Five Minute Walk

LOT TYPE IIA PARK HOUSE Architecture Style: St. Augustine, Florida (Historic) Archetype Characteristics and Development Parameters: Max. One (1) or Two (2) Stories Second Story Porch or Covered Sleeping Balcony at street frontage required Detached Carriage House Required: Two (2) Stories Maximum Front Stoop Required: Max. Stoop Height = 28", Min.=16" Maximum Height to Roof Eave at Principle Structure = 21'-0" to 30'-0" Above First Finished Floor Maximum Roof Eave at Second Story Carriage House = 18'-0" - 22'-0" Above Finished Grade Perimeter Walls Required: Wall Height 3'-0" Min. to 8'-0" Max. Carriage Lane Required at Rear Property Line Required wall @ street shall be masonry; @ alley or between houses, a wood, chainlink, or masonry fence can All swimming pools shall be 1'-6" from building foundation or perimeter walls.







SHEET 11 OF 21



9,2004 JUNE

OWNER - DEVELOPER

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA

PARCEL I

IVA

IVA

IVA

47

IIIB

SUMMERVILLE GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE IIB Park House

PARCEL I

VIA

VIB

VIA

Vib

IIIB

IIA IVB IVB IIA

IIIB V V IIIB

IIIB V V IIIB

IIA IVB IVB IIA

IVA IVA

ROSELLO BALBOA +

ARCHITECTURE & TOWN PLANNING

13370 SOUTHWEST 131ST STREET SUITE 104 MIAMI, FLORIDA 33186 TELEPHONE: 786.293.2313 FACSMILE: 786.293.2344 MAIL@RBLARCHITECTURE.COM

BUILDING USE

- 1. USES OF THE BUILDINGS AS SHOWN HERE ARE RESIDENTIAL OCCUPANCY.
- 2. OTHER FOLLOWING USES ARE ADDITIONALLY PERMITTED FOR **OUT BUILDINGS/CARRIAGE** HOUSE SUCH AS WORKSHOP, GUEST COTTAGE, ARTIST STUDIO SAUNA, POOL HOUSE EQUIPMENT ENCLOSURE, GAZEBO, CONSERVATORY.

BUILDING PLACEMENT

1. BUILDINGS SHALL BE SET ON LOTS RELATIVE TO THE PROPERTY LINES AS SHOWN

PARKING

- 1. PARKING SPACES SHALL BE PROVIDED WITHIN THE AREAS SHOWN.
- 2. NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM.

PERMITTED ENCROACHMENT

- 1. THE FOLLOWING ARCHITECTURAL ELEMENTS, SUCH AS STOOPS, BALCONIES, OPEN PORCHES, COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE PARAMETERS SHOWN HERE.
- 2. GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED.

BUILDING HEIGHT

- 1. HEIGHTS SHALL BE MEASURED RELATIVE TO THE FRONTING STREET **ELEVATION AND A SPECIFIED POINT** ON THE BUILDING.
- 2. MINIMUM AND MAXIMUM BUILDING HEIGHTS SHALL BE MEASURED IN NUMBER OF FLOORS EACH NOT TO EXCEED 12' FLOOR TO CEILING.

LEGEND

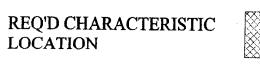
VISIBILTY TRIANGLE



ENCROACHMENT

ALLOWABLE

LOCATION

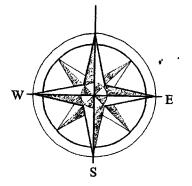








JUNE - 9, 2004



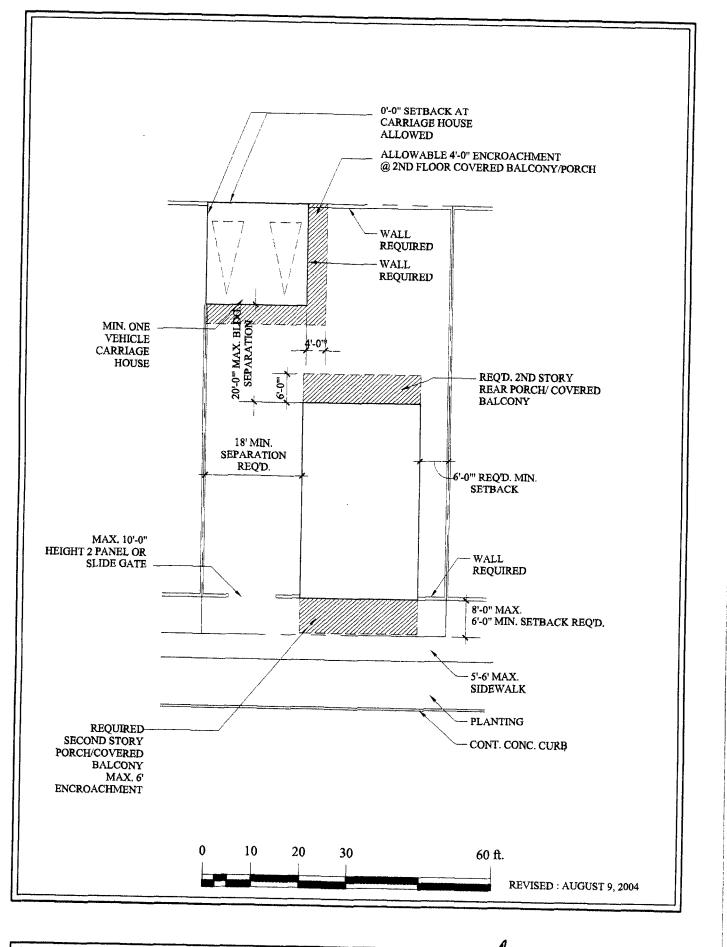
Five Minute Walk

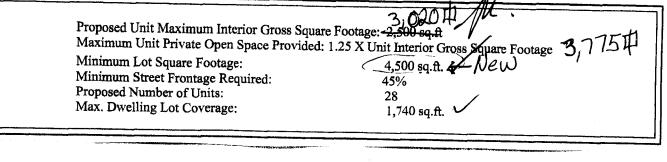
VIB VIB VIA VIA 60 NIBAIV VIB VIA. VIB VIA VIB AIV AIB VIA VIĄ IIA | IIIA | IIIA | IIIA | IIIA | VIB VIA VIA VIA VIA VIB VIA VIA VIA VIA VIB VIA PARCEL III VIA VIB VIA VIA VIB VIA IIB IVA IVA IVA VIB VIA VIA BIV **VIA** IIA V IVB IVB V IVB IIA VIB C) C) C C IVA VIA 25 VIB VIA IIA V IVB IVB V IIIA IIIA IIIIA VIA _ VIA AIV VIB VIB IIA V IVB IVB V AIV VIA VIB VIB VIB IIA V IVB IVB V I AIII AIII AIII VIA 26 VIB AIB VIA VIB VIA VIB IIA V IVB IVB V VIA IVB | IIA VIA VIA IVB | IIA IIA V IVB IVB VIB 20 IVA VIA 20 _UIB_ AIB VIA IVA IVB | IIA VIB IIA V IVB IVB VIB FUTURE MIXED USE DISTRICT **FUTURE FIRE STATION** BUILDING

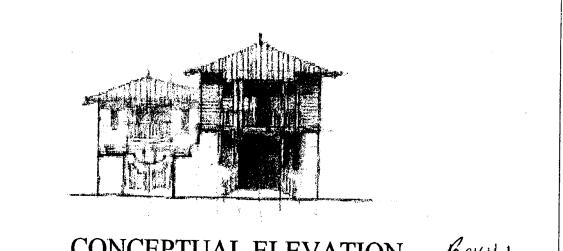
LOT TYPE IIB PARK HOUSE Architecture Style: St. Augustine, Florida (Historic) Archetype Characteristics and Development Parameters: Two (2) Stories Max. Second Story Porch or Covered Sleeping Balcony at street frontage required Detached Carriage House Required: Two (2) Stories Maximum

Front Stoop Required: Max. Stoop Height = 28", Min.=16"

Maximum Height to Roof Eave at Principle Structure = 21'-0" to 30'-0" Above First Finished Floor Maximum Roof Eave at Second Story Carriage House = 18'-0" - 22'-0" Above Finished Grade Perimeter Walls Required: Wall Height 3'-0" Min. to 8'-0" Max. Carriage Lane not Required at Rear Property Line
Required wall @ street shall be masonry; @ alley or between houses, a wood, chainlink, or masonry fence can All swimming pools shall be 1'-6" from building foundation or perimeter walls.







CONCEPTUAL ELEVATION

SHEET 12 OF 21



G.C. HOMES, INCORPORATED OWNER - DEVELOPER

50 100 150

9, 2004

SUMMERVILLE GOULDS, MIAMI - DADE COUNTY, FLORIDA

ROSELLO BALBOA +

ARCHITECTURE & TOWN PLANNING

13370 SOUTHWEST 131ST STREET SUITE 104 MIAMI, FLORIDA 33186 TELEPHONE: 786.293.2313 FACSMILE: 786.293.2344 MAIL@RBLARCHITECTURE.COM

TYPE IIIA Large Courtyard House

VIA

VIB

AIV

VIB

VIB

VIA

VIB

VIA

VIB

VIA

VIA

AIV

VIA

VIB

VIA

VIB

VIA

VIB

VIA

AIB

VIB

Five Minute Walk

VIA

VIB

VIA

VIA

VIA

VIB

VIA

VIA O

VIB VIA VIA VIA VIA VIA VIB

VIA VIB VIB VIA VIA VIB VIA

IIA V IVB IVB V

MA V IVB IVB V

IIA V IVB V

IIA V IVB IVB V

IIA V IVB IIVB

IIA V IVB IVB

20

IVB IVB V

AIV

VIB

VIB

VIA

VIB

AIV

VIA

VIB

AIB

VIA

II VIA

VIB

VIB

VIA

VIA

VIB

VIB

26

VIB

VIA

VIA

IIIB

VIA

FUTURE MIXED USE DISTRICT

VIB

PARCEL III

AVI

W WIVA

IIB

IVA

iib

IIB

IVA

IVA

IVA

FUTURE FIRE STATION

BUILDING

IVA IVA IVA

IVB | IIA

28

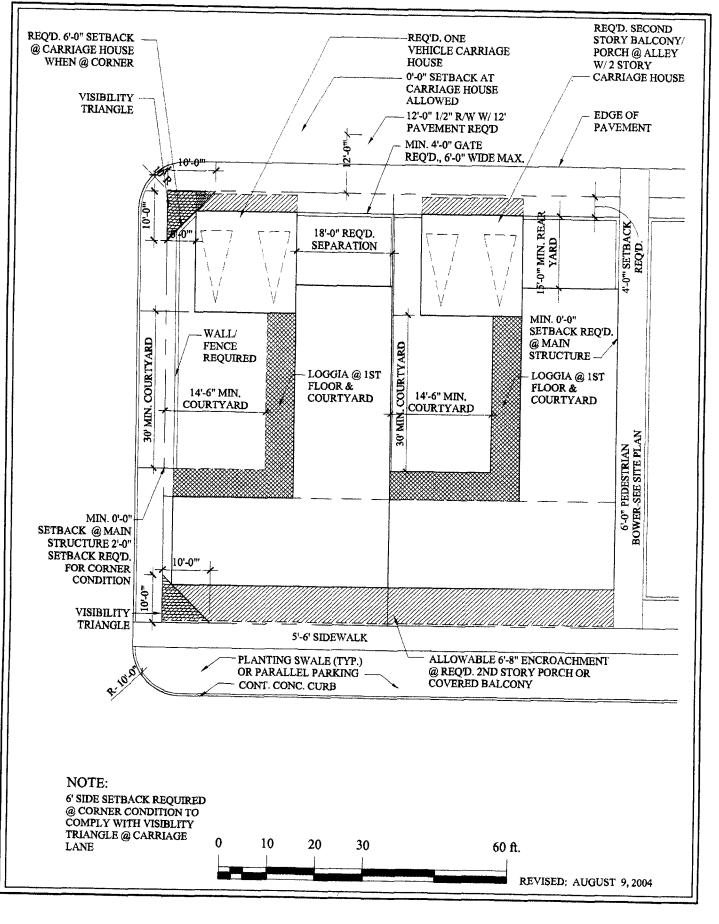
IVB IIA

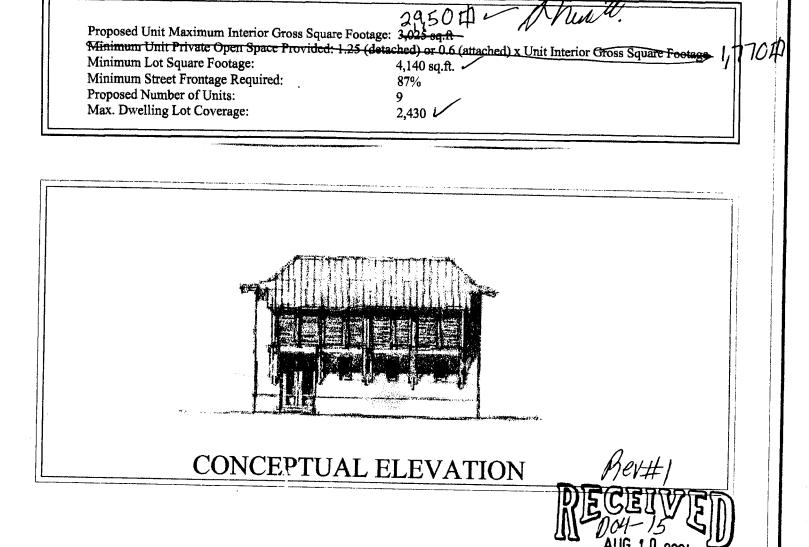
IVB | MA |

IVB | IIA

14425 COUNTRY WALK DRIVE MIAMI, FLORIDA **BUILDING USE** 1. USES OF THE BUILDINGS AS SHOWN HERE ARE RESIDENTIAL OCCUPANCY. 2. OTHER FOLLOWING USES ARE ADDITIONALLY PERMITTED FOR OUT BUILDINGS/CARRIAGE HOUSE SUCH AS WORKSHOP. GUEST COTTAGE, ARTIST STUDIO PARCEL II SAUNA, POOL HOUSE EQUIPMENT PARCEL I ENCLOSURE, GAZEBO, CONSERVATORY. IVA IVA IIB IVA IVA IIB IIB IVA IVA IIB IIB **BUILDING PLACEMENT** 1. BUILDINGS SHALL BE SET ON LOTS RELATIVE TO THE PROPERTY LINES AS SHOWN ______ HERE. IIIB IIIB IVA IIA IVB IVB IIA **PARKING** IVA IIIB A A IIIB 1. PARKING SPACES SHALL BE AIB IIB PROVIDED WITHIN THE AREAS VIB IIIB SHOWN. 2. NUMBER OF PARKING SPACES INDICATED SHALL BE CONSIDERED TO BE THE REQUIRED MINIMUM. IIIB V V IIIB **PERMITTED** IIIB IIIB 38 **ENCROACHMENT** IIB 1. THE FOLLOWING ARCHITECTURAL 45 44 ELEMENTS, SUCH AS STOOPS, IIA IVB IVB IIA IVA BALCONIES, OPEN PORCHES. COVERED WALKWAYS, BAY WINDOWS, AND RAISED DOOR YARDS, SHALL BE PERMITTED TO ENCROACH WITHIN THE PARAMETERS SHOWN HERE. 2. GARDEN WALLS AND FENCES SHALL BE MANDATORY AS SHOWN HERE. IVA IIB | IVA | IVA | IIB | IIB | IVA | IVA | IIB | IIB WALLS SHOULD BE OF MASONRY AND FENCES OF WOOD, OR ELEMENTS AS OTHERWISE NOTED. **BUILDING HEIGHT** 1. HEIGHTS SHALL BE MEASURED RELATIVE TO THE FRONTING STREET **ELEVATION AND A SPECIFIED POINT** ON THE BUILDING. 2. MINIMUM AND MAXIMUM BUILDING HEIGHTS SHALL BE MEASURED IN NUMBER OF FLOORS EACH NOT TO EXCEED 12' FLOOR TO CEILING. LEGEND **VISIBILTY** TRIANGLE ALLOWABLE **ENCROACHMENT** REQ'D CHARACTERISTIC LOCATION HOUSE TYPE LOCATION

LOT TYPE IIIA LARGE COURTYARD HOUSE Architecture Style: New Orleans Style Archetype Characteristics and Development Parameters: One (1) or Two (2) Stories Porch or Covered Sleeping Balcony at street frontage required Second Story Porch or Covered Sleeping Balcony at Carriage Way frontage required w/ 1 story carriage house Attached or Detached Carriage House Required: Two (2) Stories Maximum Interior Courtyard with Loggia/Porch Required Front Stoop Required: Max. Stoop Height = 28", Min.=16" Maximum Height to Roof Eave at Principle Structure = 21'-0" to 30'-0" Above First Finished Floor Maximum Roof Eave at Second Story Carriage House = 18'-0" - 22'-0" Above Finished Grade Perimeter Walls Required: Wall Height 3'-10" Min. to 10'-0" Max. Carriage Lane Required at Rear Property Line Required wall @ street shall be masonry; @ alley or between houses, a wood, chainlink, or masonry fence can All swimming pools shall be 1'-6" from building foundation or perimeter walls.





SHEET 13 OF 21

OWNER - DEVELOPER

SUMMERVILLE

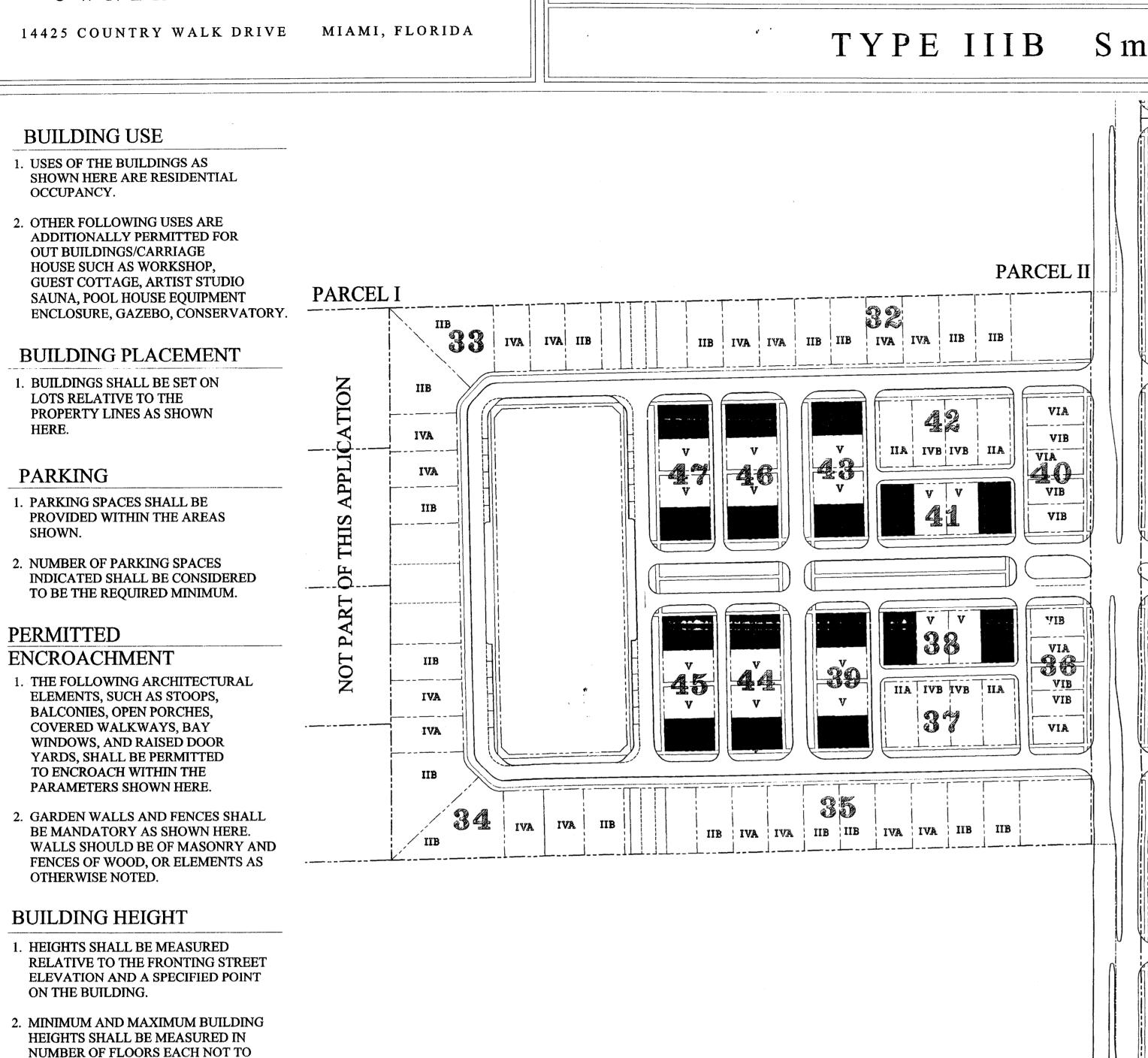
GOULDS, MIAMI - DADE COUNTY, FLORIDA

TYPE IIIB Small Courtyard House

ROSELLO BALBOA LORDI

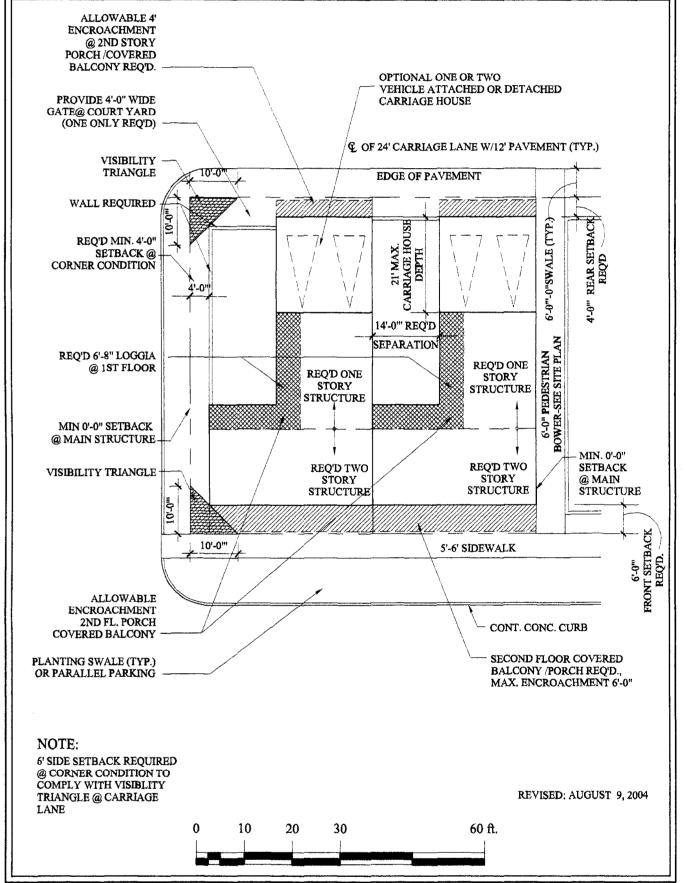
ARCHITECTURE & TOWN PLANNING

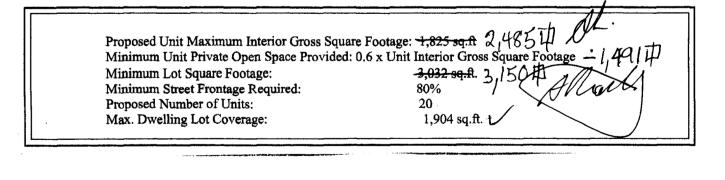
13370 SOUTHWEST 131ST STREET SUITE 104 MIAMI, FLORIDA 33186 TELEPHONE: 786.293.2313 FACSMILE: 786.293.2344 MAIL@RBLARCHITECTURE.COM

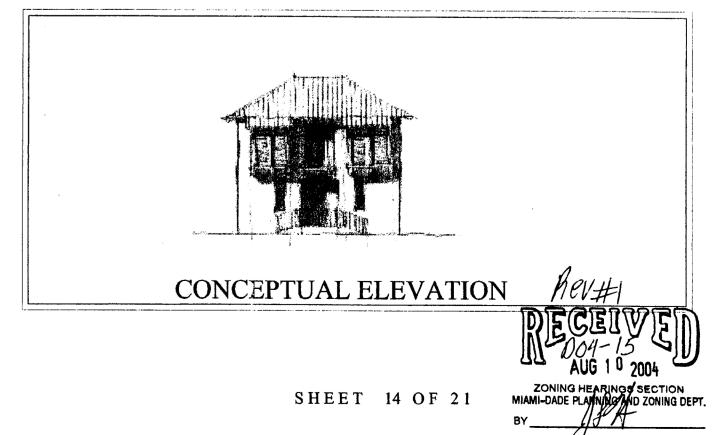


VIA VIB VIB VIA VIA VIB VIA AIV VIB VIA VIB VIB VIA VIB AIV VIA VIB VIA VIA AIV UID VIA VIA VIA VIA VIA VIB PARCEL III VIA VIB VIB VIA VIB VIA IVA IVA IVA VIB VIA VIA IIA V IVB I IVB V IVB | IIA AIV O O IVA AIV VIA IIA V IVB IVB V MIA : MIA : MIA : IIB AIB VIA VIA VIB IIA V IVB IVB V AIB AIV IIBAIV VIB **G** VIB VIB AIII AIII AIII IIA | V | IVB | IVB | V 26 IVA VIB VIA VIA IIBIVB | IIA VIB AIV IIB19 30 VIA IIA V IVB IVB AIB 20 VIA VIA VIB AIV IVB !! IIA VIB VIB IIA V IVB IVB FUTURE FIRE STATION FUTURE MIXED USE DISTRICT BUILDING

LOT TYPE IIIB SMALL COURTYARD HOUSE Architecture Style: New Orleans Style Archetype Characteristics and Development Parameters: Two (2) Stories Maximum Second Story Porch or Covered Sleeping Balcony at street frontage required Optional Detached or Attached Carriage House: Two (2) Stories Maximum Front Stoop Required: Max. Stoop Height = 28", Min.=16" Interior Courtyard with Loggia/Porch Req'd. Maximum Height to Roof Eave at Principle Structure = 26'-0" to 30'-0" Above First Finished Floor Maximum Roof Eave at Second Story Carriage House = 20'-0" - 22'-0" Above Finished Grade Perimeter Walls Required: Wall Height 3'-0" Min. to 10'-0" Max. Carriage Lane Required at Rear Property Line All swimming pools shall be a minimum of 1'-6" from building foundation or perimeter walls. Required wall @ street shall be masonry, @ alley or between houses a wood, chainlink, ALLOWABLE 4' ENCROACHMENT







LEGEND

VISIBILTY TRIANGLE

ALLOWABLE ENCROACHMENT

LOCATION

REQ'D CHARACTERISTIC

HOUSE TYPE LOCATION



EXCEED 12' FLOOR TO CEILING.

JUNE 9, 2004

1320 ft

Five Minute Walk